



17/00436/CPD

135 Elizabeth Avenue, Laleham,
Staines-upon-Thames, TW18 1JN



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Planning Committee

03 May 2017



Application No:	17/00436/CPD		
Site Address:	135 Elizabeth Avenue, Laleham, TW18 1JN		
Proposal:	Certificate of lawfulness for the proposed development of loft alterations including the installation of rear facing dormer and three roof lights within the front elevation.		
Applicant:	Mr Mark Lunn		
Ward:	Staines South		
Call in details:	The applicants' wife is an officer employed by Spelthorne Borough Council, and Paragraph 4 of the Scheme of Delegation requires all applications by members and staff to be determined by the Planning Committee.		
Case Officer:	Matthew Churchill		
Application Dates:	Valid: 13.04.2017	Expiry: 11.05.2017	Target: Under 8 weeks
Executive Summary:	<p>A Lawful Development Certificate confirms whether the proposed works are 'Permitted Development' and therefore do not require planning permission.</p> <p>Decisions must be based only on the 'legal' position as set out in the Permitted Development Order, and are not assessed in terms of its relative planning merits.</p>		
Recommended Decision:	The proposal would constitute permitted development as defined by Part 1, Schedule 2, of the General Permitted Development Order 2015 and planning permission is not required. A Certificate of Proposed Development to be issued.		

MAIN REPORT

1. Development Plan

- 1.1 This Lawful Development Certificate (LDC) seeks to establish whether the dormer proposed within the rear elevation of the dwelling, and three rooflights proposed within the front roof slope, would constitute 'Permitted Development' and would not therefore require planning permission. The purpose of such Certificates is to provide the Council's formal confirmation that planning permission would not be required. Such proposals have to be assessed solely against the criteria set out in the General Permitted Development Order 2015.

2. Description of Current Proposal

- 2.1 The application site is occupied by a two storey mid-terraced dwelling located on the southern side of Elizabeth Avenue, Laleham. The property contains an existing single storey rear extension, and is located within the 1 in 1000 year flood event area. The property also contains off-street parking at the front of the dwelling. The proposal seeks to erect a dormer within the rear elevation and three rooflights within the front roof slope.
- 2.2 Copies of the site layout and elevations are provided as an Appendix.

Consultations

3. The following table shows those bodies consulted and their response.

Consultee	Comment
Environmental Health	No objection

4 Assessment of Application

- 4.1 The proposed dormer within the rear elevation, and three roof lights within the front elevation would constitute permitted development, as specified in Part 1, Schedule 2, Class B (in relation to the dormer) and Class C (in relation the roof lights) of the General Permitted Development Order 2015.
- 4.2 In relation to Class B (the dormer), the roof would not exceed the highest part of the existing roof; would not extend beyond the plane of any existing roof slope which forms the principal elevation of the dwellinghouse and fronts a highway; the cubic content of the resulting roofspace would not exceed the cubic content of the original roof space by more than 40 cubic metres; would not consist of or include the construction or provision of a veranda, balcony or raised platform or the installation, alteration or replacement of a chimney, flue or soil and vent pipe.

- 4.3 In relation to Class C, the proposed roof lights would not protrude more than 150 millimetres beyond the plane of the roof slope when measured from the perpendicular with the external surface of the original roof.

5 Recommendation

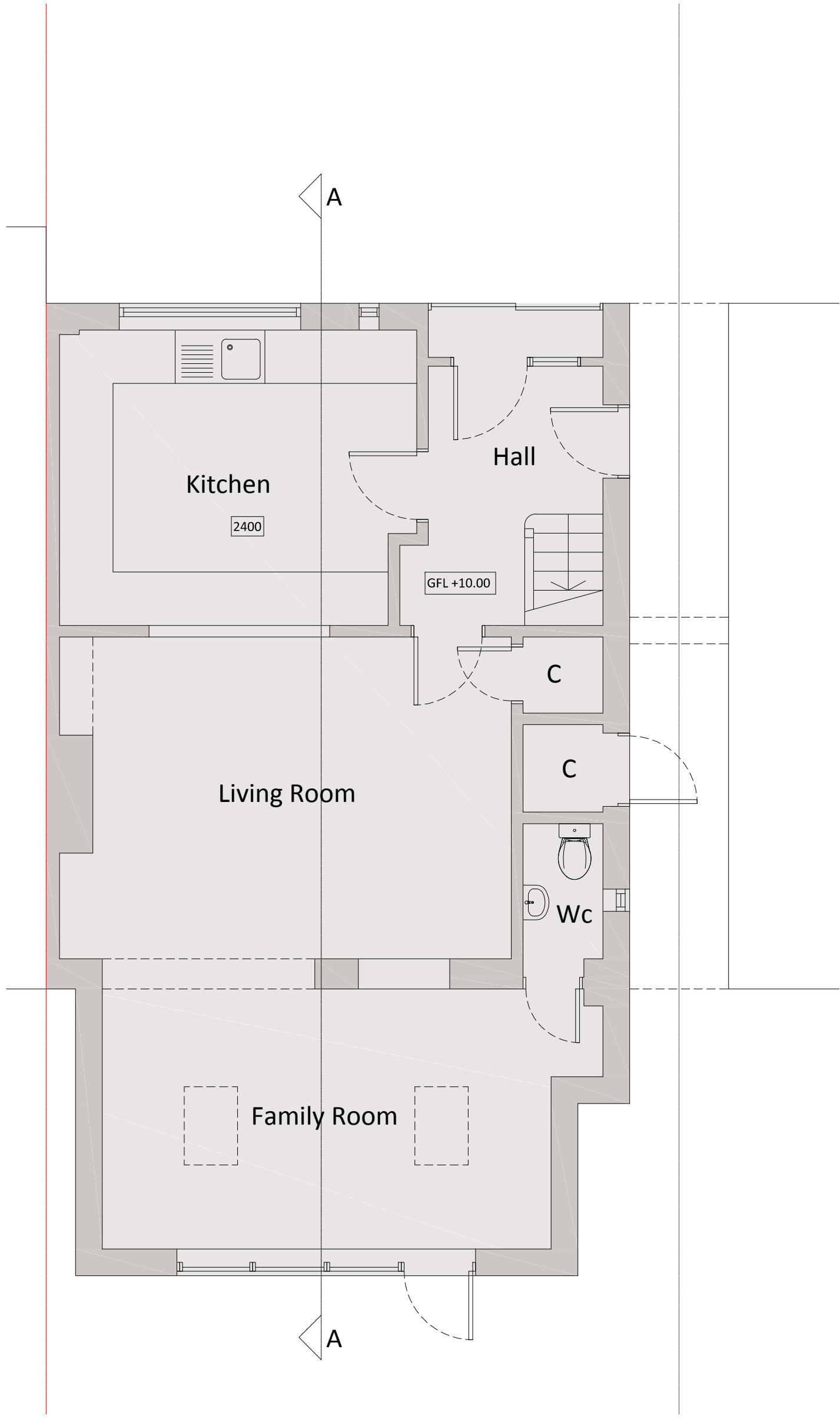
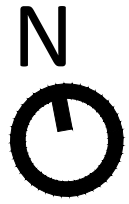
- 5.1 The proposed rear dormer and rooflights on the front of the property constitute permitted development and planning permission is not required. The Lawful Development Certificate should be issued subject to the 'conditions' set out in the Order which in the case of Condition 1, reflect the standard qualifications/limitations specified in the General Permitted Development Order.

Conditions

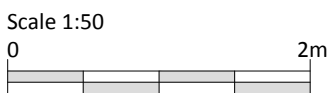
1. The proposed dormer roof extension would constitute permitted development under the terms of Class B Part 1, Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 subject to the following conditions as set out in the order:
 - (a) the materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse;
 - (b) other than in the case of a hip-to-gable enlargement, the edge of the enlargement closest to the eaves of the original roof shall, so far as practicable, be not less than 20 centimetres from the eaves of the original roof;
 - (c) any window inserted on a wall or roof slope forming a side elevation of the dwellinghouse shall be --
 - (i) obscure glazed, and
 - (ii) non-opening unless the parts of the window can be opened are more than 1.7 metres above the floor of the room in which the window is installed.
2. The proposed roof lights that would be situated within the front elevation would meet the requirements of Schedule 2 Part 1 Class C of the Town and Country Planning Act (General Permitted Development) 2015.

Informatives

1. The applicant's attention is drawn to the requirements of the Party Wall etc. Act 1996 in relation to work close to a neighbour's building/boundary.



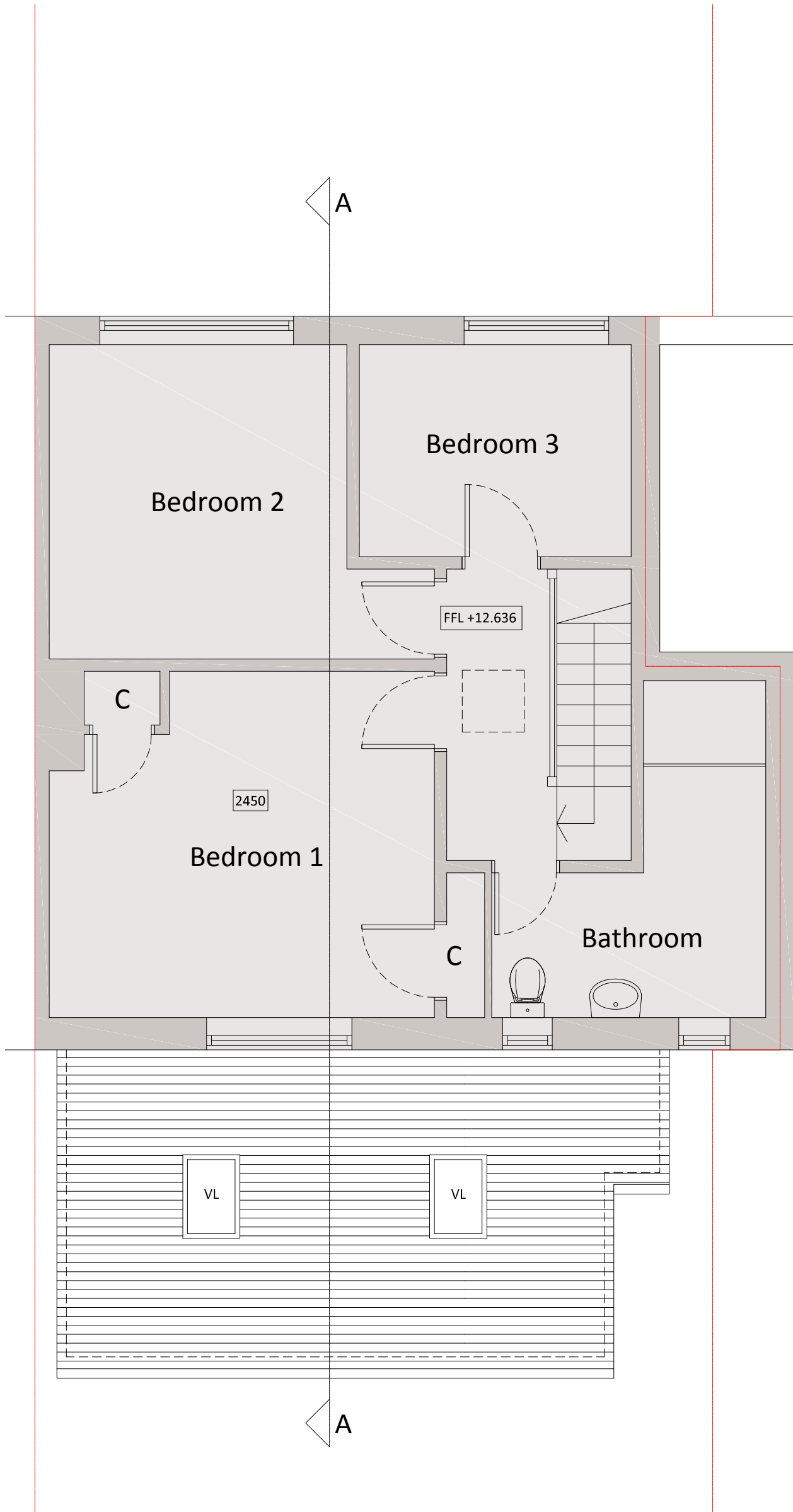
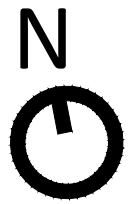
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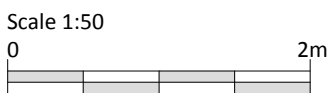
Job
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Drawing
Existing Ground Floor Plan

Number	Revision	Scales	Date	Drawn	Checked
EX02		1:50	03.2017		



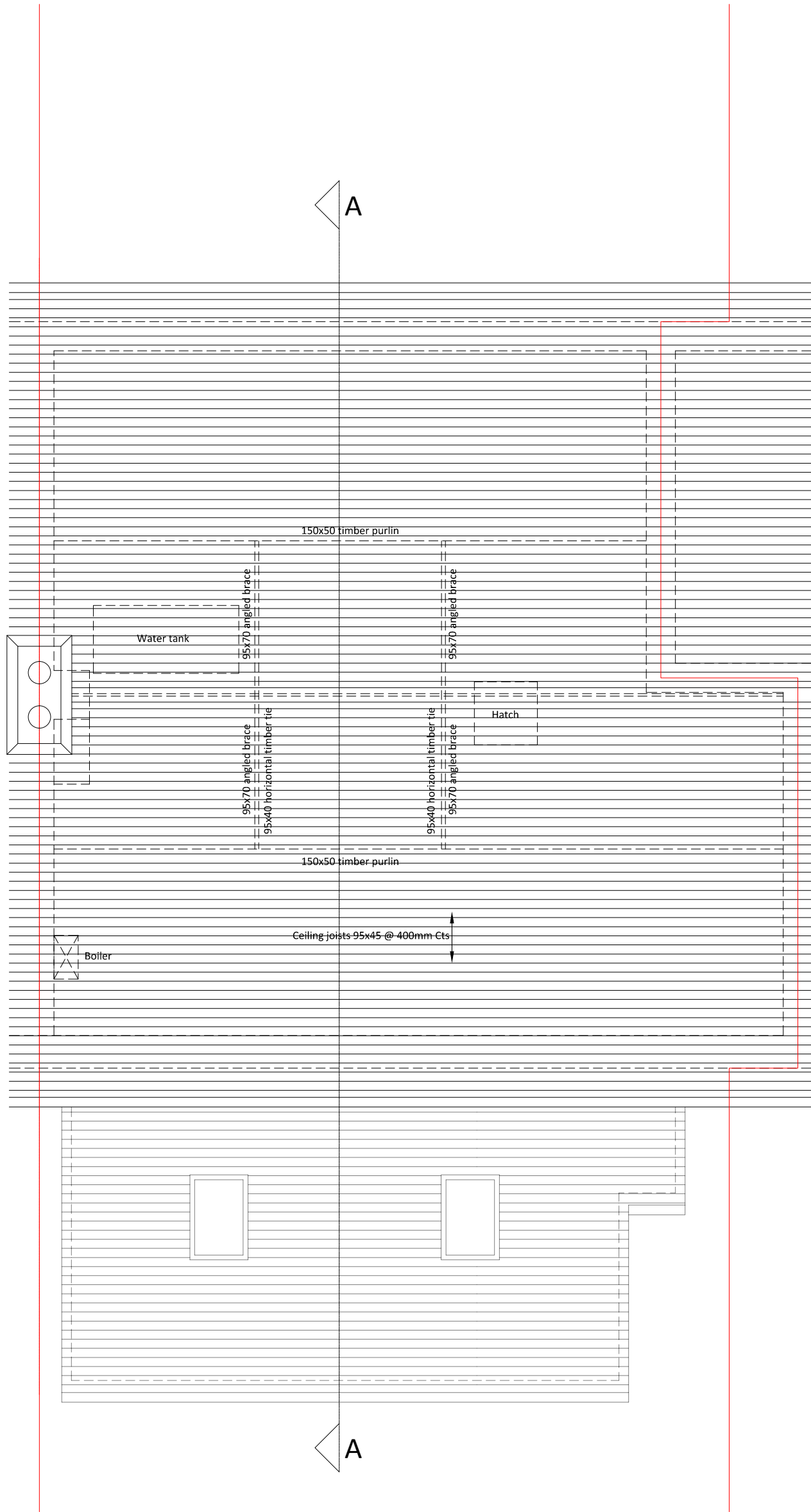
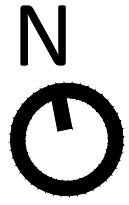
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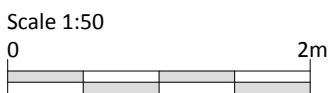
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Drawing
Existing First Floor Plan

Number	Revision	Scales	Date	Drawn	Checked
EX03		1:50	03.2017		



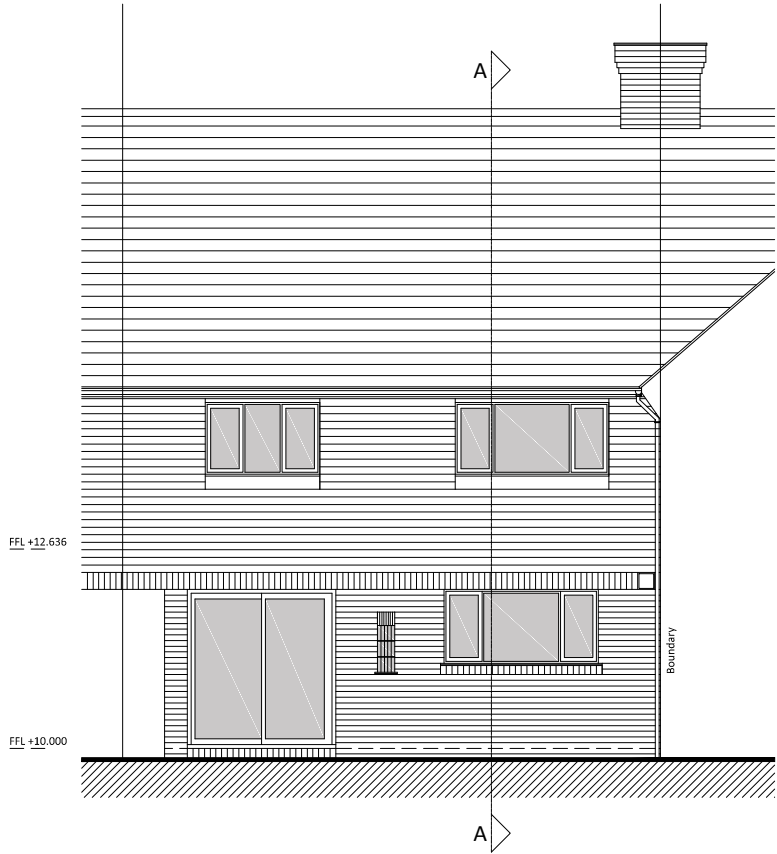
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Drawing
 Existing Roof Plan

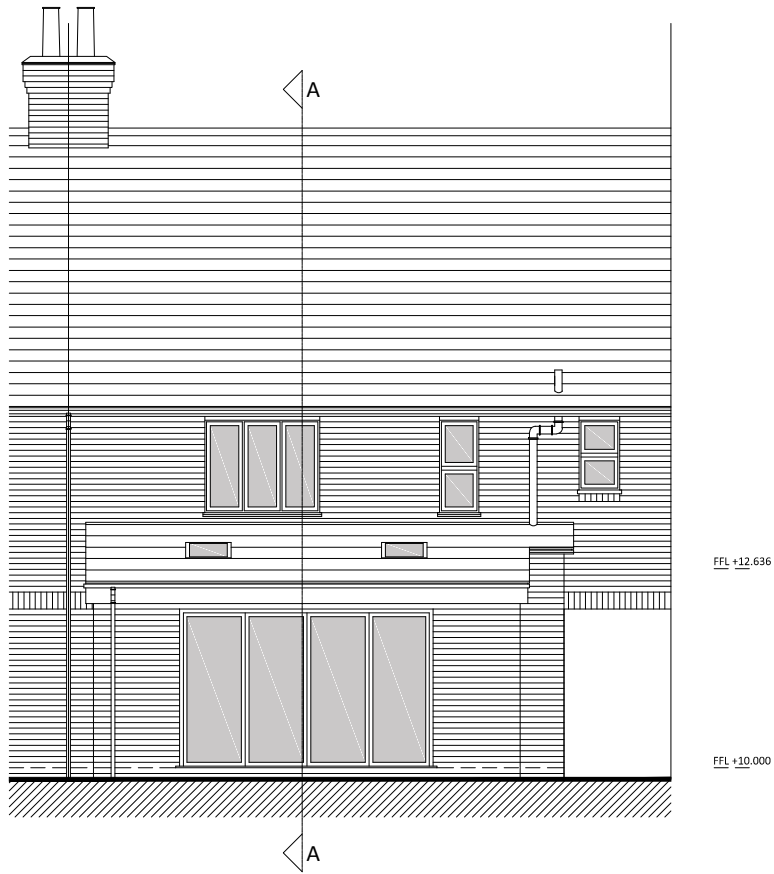
Number	Revision	Scales	Date	Drawn	Checked
EX04		1:50	03.2017		



REAR ELEVATION

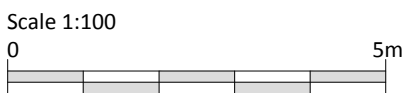


CROSS SECTION A-A



REAR ELEVATION (Elizabeth Avenue)

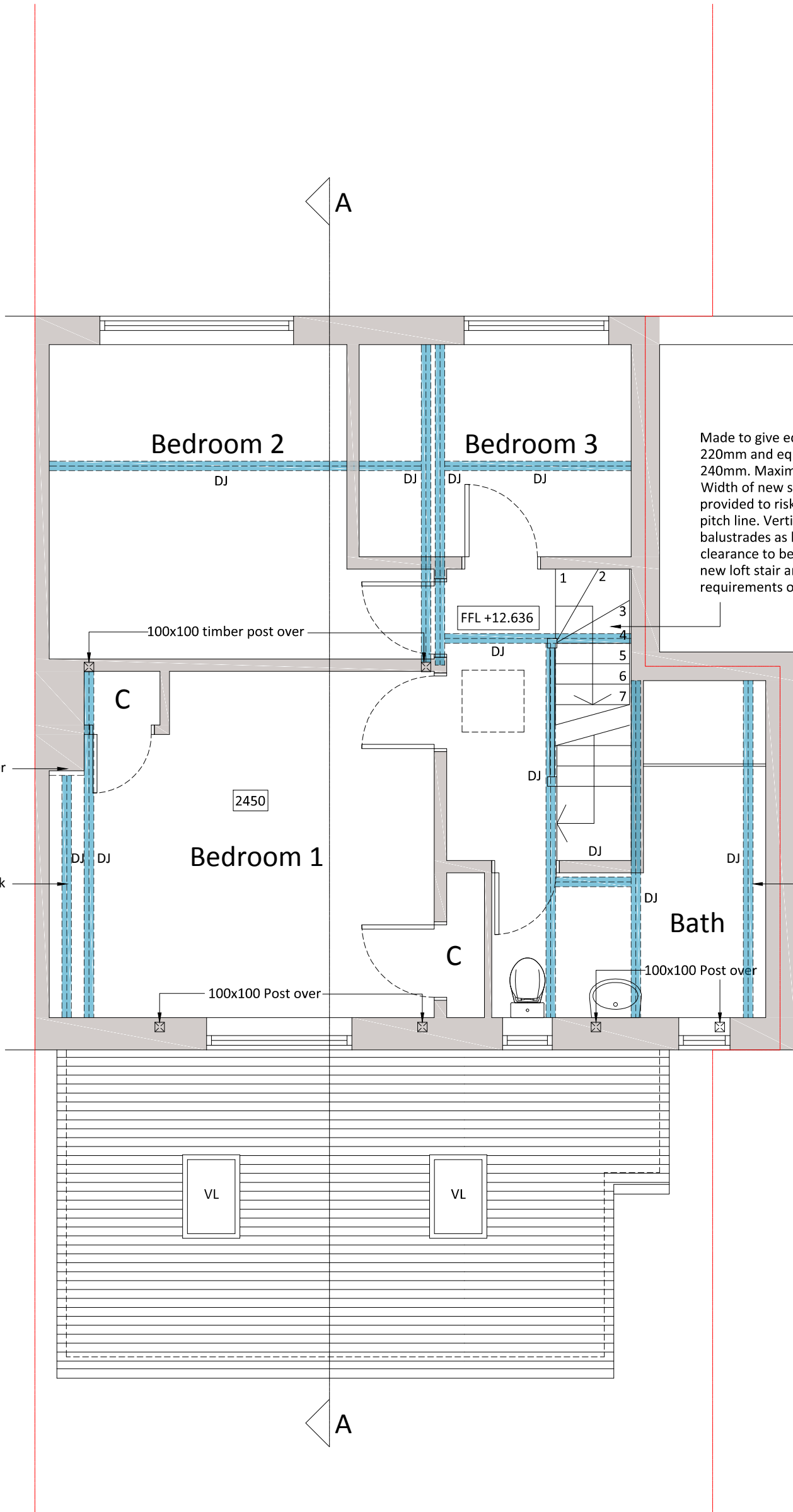
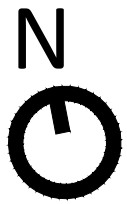
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Drawing
 Existing Elevations &
 Cross Section A-A

Number	Revision	Scales	Date	Drawn	Checked
EX05		1:50	03.2017		

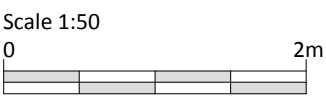


Made to give equal risers of no greater than 220mm and equal goings of no greater than 240mm. Maximum pitch of new stair 42 degrees. Width of new stair average of 840mm. handrail provided to risk side of stair set 900mm above pitch line. Vertical spindles at 99mm max spacing balustrades as handrail. A minimum of 1.9m head clearance to be achieved to the centre line of the new loft stair and landing to meet the requirements of Part K.

bolted together under check by the structural engineer.

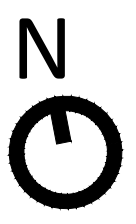
2 x 50x220 treated SW timbers bolted together under check of new roof dormer as specified by the structural engineer.

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Job 135 Elizabeth Avenue Staines Surrey TW18 1JN		Drawing Proposed First Floor Plan			
Number P02	Revision	Scales 1:50	Date 03.2017	Drawn	Checked

Made to give equal risers of no greater than 220mm and equal goings of no greater than 240mm. Maximum pitch of new stair 42 degrees. Width of new stair average of 840mm. handrail provided to risk side of stair set 900mm above pitch line. Vertical spindles at 99mm max spacing balustrades as handrail. A minimum of 1.9m head clearance to be achieved to the centre line of the new loft stair and landing to meet the requirements of Part K.

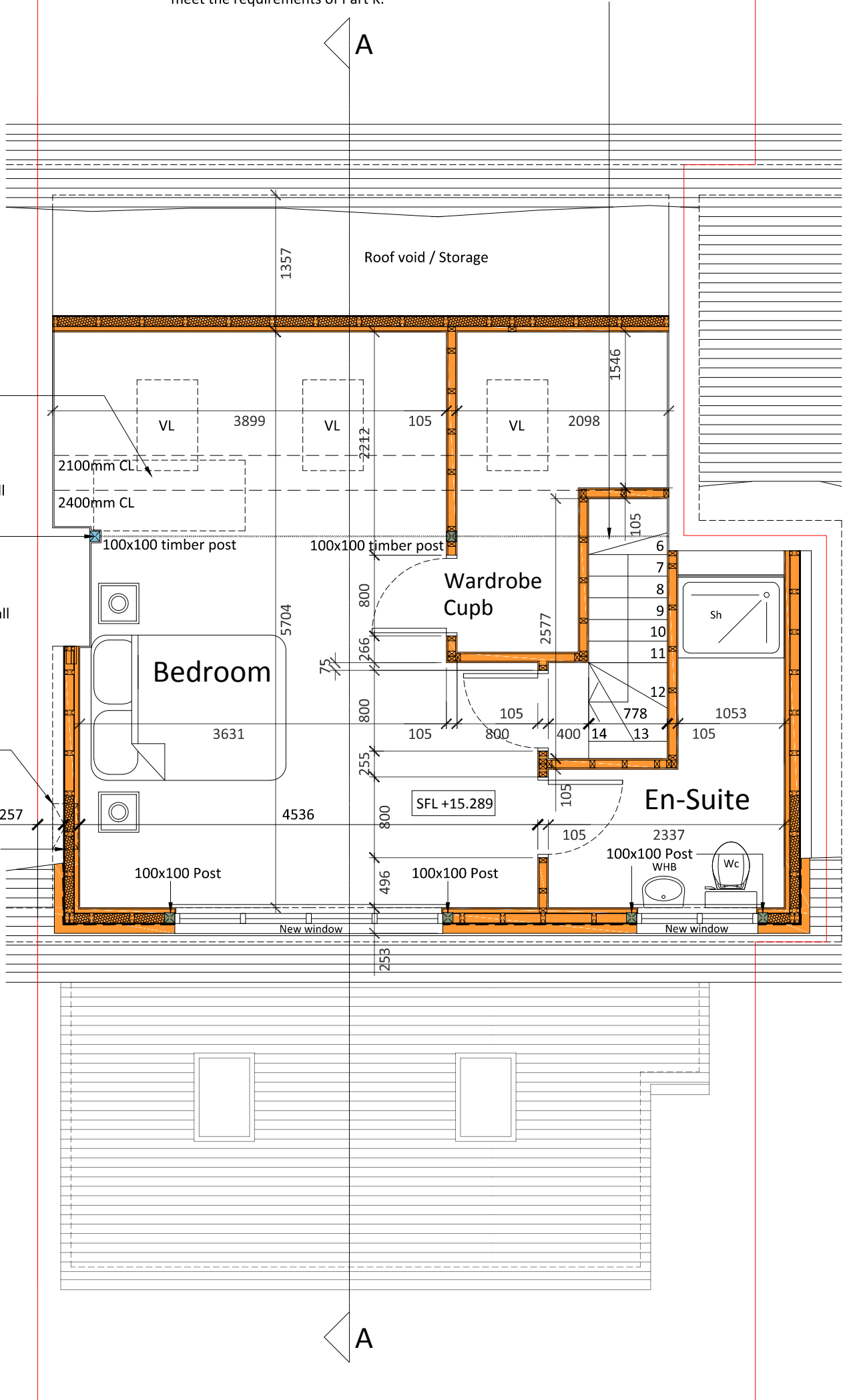


Existing water tank to be removed

2 no 63x225 C24 treated SW timbers well spiked together with 100 bearings onto 100x100 C24 treated SW timber post formed of 2 no 50x100 C24 treated SW timbers glued and screwed together. To the approval of the Building Control Officer and Structural Engineers design
Note - Post to sit over first floor spine wall

Existing boiler to be removed

DORMER CHEEKS / DORMER FACE
Plain tile hanging to dormer cheeks on 38x25mm battens on breathable paper onto 6mm Supalux or similar. 12mm sheathing ply fixed to 95x47mm frame work (unless other stated) on doubled up rafters (unless other specified) with 90mm Kingspan TP10 with 20mm Kingspan over. Finished internally with 12.5mm foil backed plasterboard on check studs.



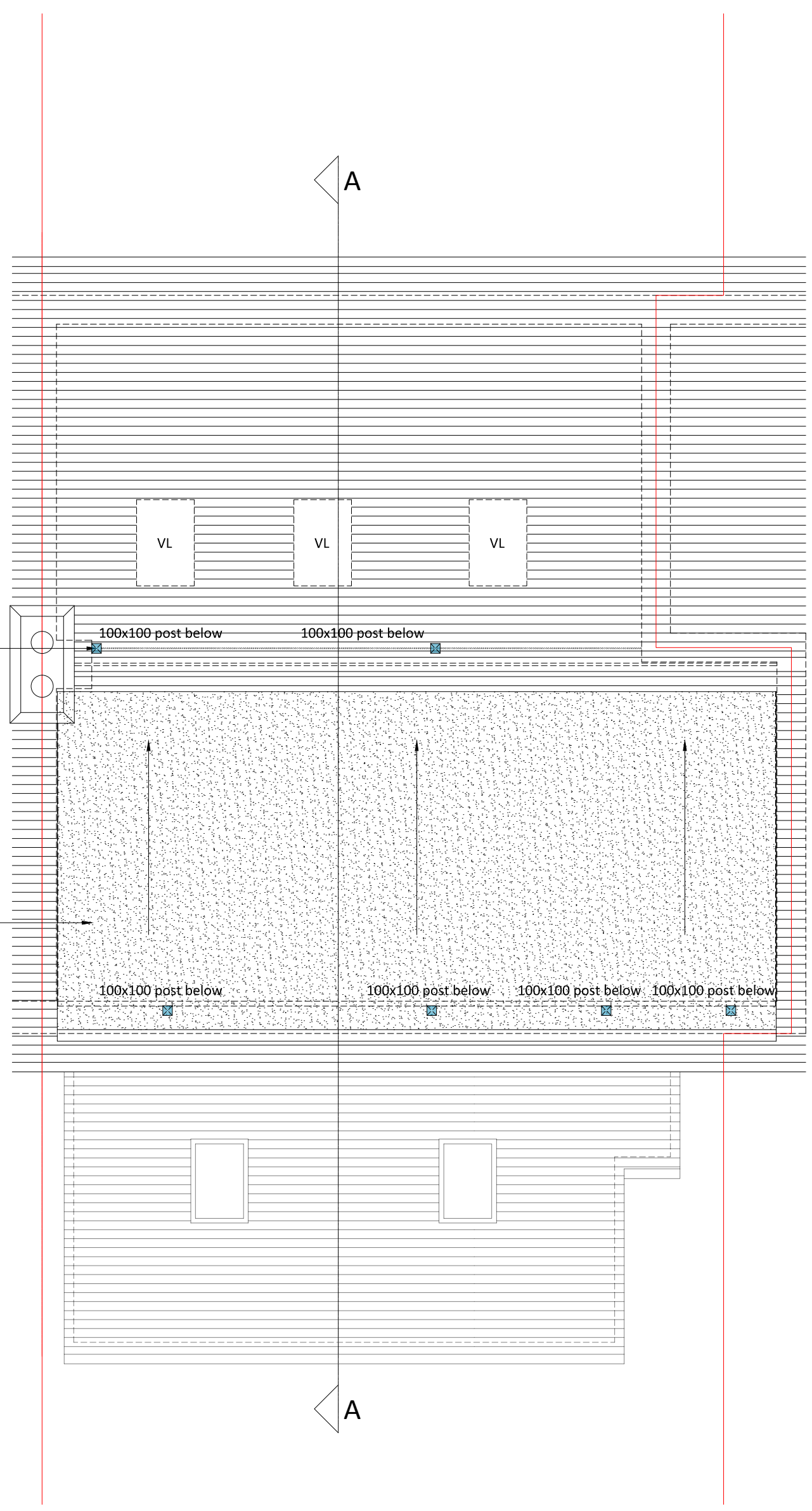
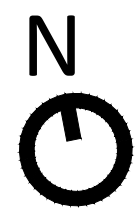
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Drawing
Proposed Second Floor Plan

Number	Revision	Scales	Date	Drawn	Checked
P03		1:50	03.2017		



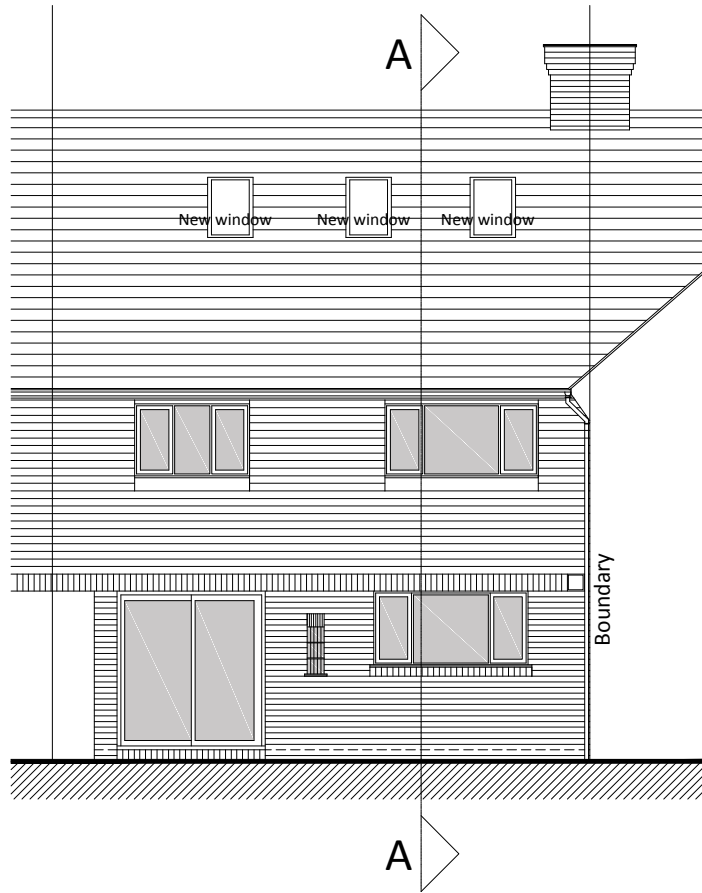
2 no 63x225 C24 treated SW timbers well spiked together with 100 bearings onto 100x100 C24 treated SW timber post formed of 2 no 50x100 C24 treated SW timbers glued and screwed together. To the approval of the Building Control Officer and Structural Engineers design
 Note - Post to sit over first floor spine wall

DORMER FLAT ROOF CONSTRUCTION
 3 layer built up felt roofing system onto 126mm of Celotex TD4126, 18mm exterior grade plywood onto tapered firings (1:40 fall) min 25mm depth, onto treated softwood joists 50x150 C24@ 400mm Cts as specified by the structural engineer.
 New roof volume 35m³

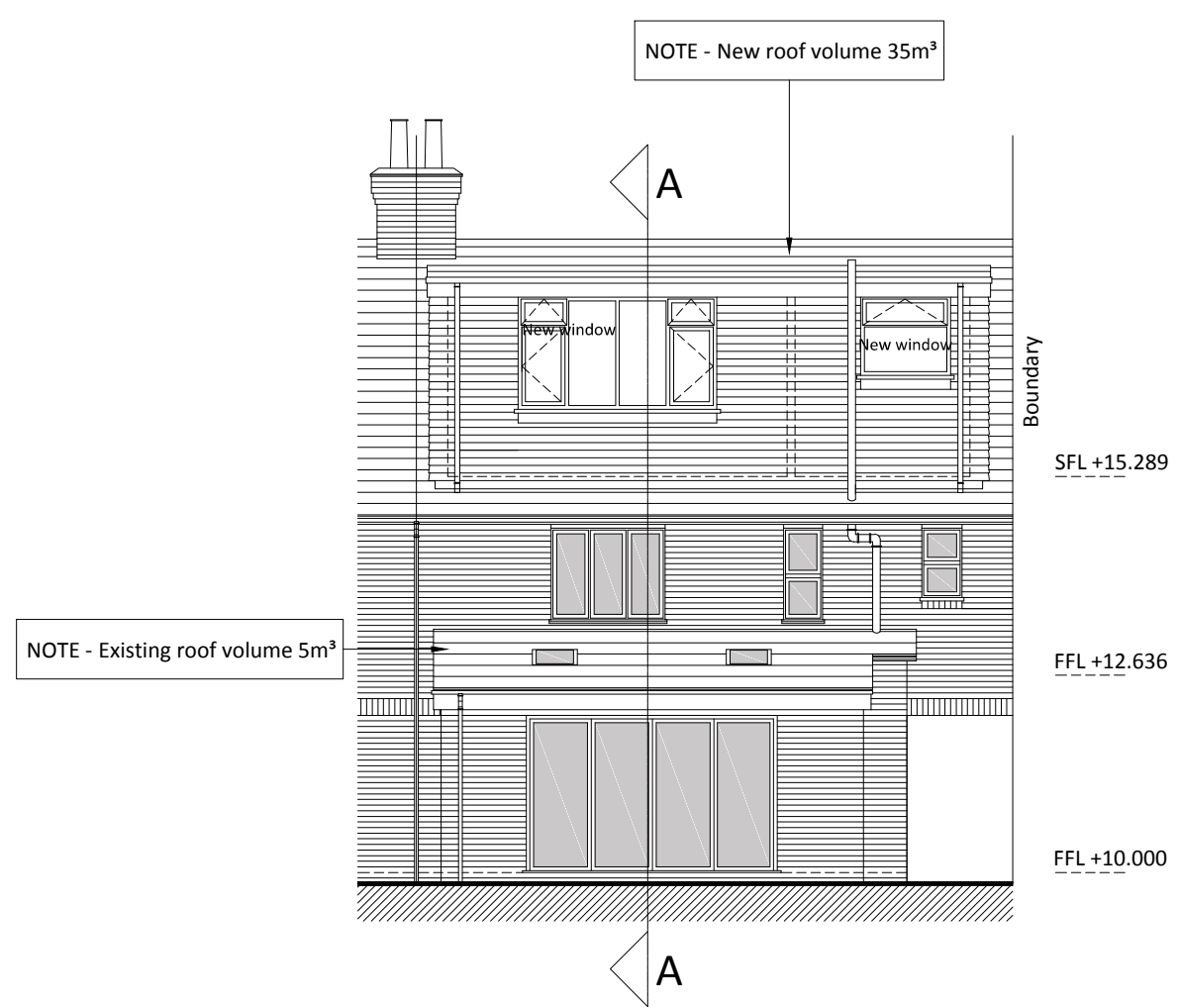
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Job 135 Elizabeth Avenue Staines Surrey TW18 1JN		Drawing Proposed Roof Plan			
Number P04	Revision	Scales 1:50	Date 03.2017	Drawn	Checked



REAR ELEVATION



REAR ELEVATION (Elizabeth Avenue)

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Job 135 Elizabeth Avenue Staines Surrey TW18 1JN		Drawing Proposed Elevations			
Number P05	Revision	Scales 1:100	Date 03.2017	Drawn	Checked

Sloping roof areas: TRISO Super 10 Multi foil insulation in conjunction with 150mm layer of Celotex or other equal approved rigid foam insulation between rafters to achieve the required U-Value. The use of TRISO is not permitted on flat roof constructions. Battens to be fixed to rafters to maintain 50mm air gap above insulation with 9.5mm plasterboard and skim internally. TRISO products to be installed in strict accordance with the manufacture's recommendations.

DORMER FLAT ROOF CONSTRUCTION
 3 layer built up felt roofing system onto 126mm of Celotex TD4126, 18mm exterior grade plywood onto tapered firings (1:40 fall) min 25mm depth, onto treated softwood joists 50x150 C24@ 400mm Cts as specified by the structural engineer.
 New roof volume 35m³

2 x 50x175 treated SW timbers well spiked together to top of new external dormer wall

DORMER CHEEKS / DORMER FACE
 Plain tile hanging to dormer cheeks on 38x25mm battens on breathable paper onto 6mm Supalux or similar. 12mm sheathing ply fixed to 95x47mm frame work (unless other stated) on doubled up rafters (unless other specified) with 90mm Kingspan TP10 with 20mm Kingspan over. Finished internally with 12.5mm foil backed plasterboard on check studs.

NOTE - From edge of roof to face of new dormer to be a minimum of 200mm

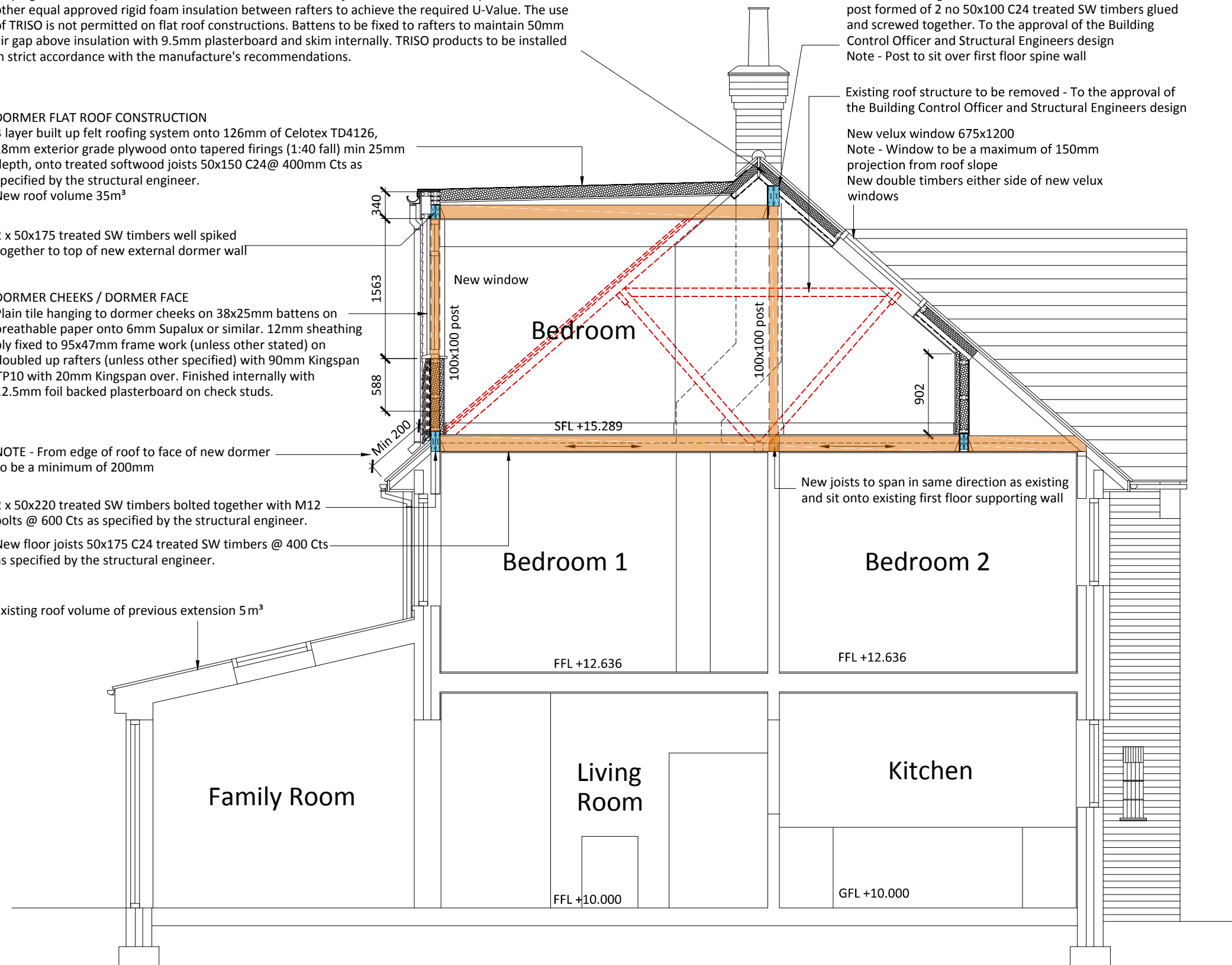
2 x 50x220 treated SW timbers bolted together with M12 bolts @ 600 Cts as specified by the structural engineer.
 New floor joists 50x175 C24 treated SW timbers @ 400 Cts as specified by the structural engineer.

Existing roof volume of previous extension 5 m³

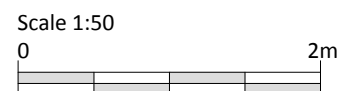
2 no 63x225 C24 treated SW timbers well spiked together with 100 bearings onto 100x100 C24 treated SW timber post formed of 2 no 50x100 C24 treated SW timbers glued and screwed together. To the approval of the Building Control Officer and Structural Engineers design
 Note - Post to sit over first floor spine wall

Existing roof structure to be removed - To the approval of the Building Control Officer and Structural Engineers design

New velux window 675x1200
 Note - Window to be a maximum of 150mm projection from roof slope
 New double timbers either side of new velux windows



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Drawing
 Proposed Cross Section A-A

Number	Revision	Scales	Date	Drawn	Checked
P06		1:100	03.2017		